

Feasibility Study

Johnson Farms Addition Buildout Street & Underground Utility Improvements

City of Moorhead, Minnesota

City Project Number: 14-A2-05

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

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I. Introduction

The purpose of this report is to consider the making of improvements necessary to complete the development of the Johnson Farms subdivisions. Johnson Farms is a 147-acre development that was initially platted in 2005 with the intent of being constructed in 2 or more phases. During the initial phase of development, City streets and utilities were extended to service Blocks 1-5 and part of Blocks 6 & 13 (approximately half of the original platted area) for the development of single family housing (both attached and detached). In addition to this, Lots 1 & 14 of Block 14 (planned for high density residential use) were serviced. Since then, nearly all of the serviced portion of Johnson Farms has been developed, including the construction of apartments on the high density residential lots abutting 40th Ave S.

Subsequent to the initial infrastructure construction, there have been several changes to the original plan for the development. The Johnson Farms 2nd Addition plat was recorded in 2007. This was a replat of a portion of the originally serviced area that was always planned for attached single family housing, and was done to streamline the process of splitting the lots. In 2011, Blocks 8 & 9 of the original subdivision was replatted as Johnson Farms 3rd Addition, converting 30 detached and 6 attached single family lots (42 units total) into a high density apartment lot which will have a total of 126 units. The sanitary sewer and water utilities needed to service the 3rd Addition were constructed in 2012-2013. In 2012, the 9 lots of Block 3 were split to allow for the construction of 18 housing units. Finally, in 2013, the plan for Lot 1, Block 14 was revised from the construction of 29 townhome units to 72 apartment units.

Approximately 42 acres (132 total lots) of the original subdivision is currently only partially serviced and remains to be developed. These lots were originally planned to be constructed as 113 detached and 19 attached single family housing units. Most of the lots (123) went tax-forfeit and are currently owned by the City of Moorhead, and the remaining 9 lots are delinquent in the payment of the property taxes. It is anticipated that the City will work with area Developers to construct the remaining underground utilities and streets and develop the lots over the next 3 to 5 years. For the purposes of this report, the project area is being considered as 3 separate developable areas based on the amount of municipal improvements that remain to be constructed in order to develop the lots and the current interest in completing the Johnson Farms 3rd development. These areas are shown in Exhibit #1 and are summarized as follows: Area 1 = Johnson Farms 3rd Addition and Lots 12 to 22, Block 7 of Johnson Farms Addition; Area 2 = Lots 32 to 43, Block 6 and Lots 1 to 11, Block 7 of Johnson Farms Addition; Area 3 = Blocks 10 to 12, Lots 14 to 26, block 13 and Lots 2 to 12, Block 14 of Johnson Farms Addition.

II. Existing and Proposed Conditions

The proposed underground utility and street improvements are shown in Exhibits #2 and #3, and are discussed below.

A. Land Use / Zoning

Johnson Farms Addition is a 147.3-acre common plan of development that has been under development since 2005. The area was converted from farmland to planned residential housing, zoned as a mixture of low medium and high density (RLD-1, 2 &3; RMD-1 & 2; and RHD-1). The area is surrounded by medium to high density housing on the north, low to medium density housing on the west and south, and City parkland on the east. The initial zoning would have allowed for a total of up to 632 units, although the original plan was for around 565 +/- . The subsequent revisions to the plan will likely result in approximately 669 total units.

B. Soil and Groundwater Conditions

According to the Clay County Soil Survey, the predominant soil types in the project area are Bearden-Fargo Complex (80%), the Fargo Silty Clay (10%), and the Overly and Colvin silty clay loams (6% and 4%, respectively). These soils generally have moderately-poor to poor drainage, shallow seasonal high water tables and low strength, and are subject to shrink-swell. For these reasons, they are considered poor materials for constructing roads and are undesirable for full basements. Typically, these soils present a high risk of corrosion to uncoated steel pipe, and a low to moderate risk of corrosion to concrete. Although these soil properties present challenges for development, their limitations can be overcome with various construction practices as noted below in Table 1:

Table 1

Soil Limitations	Mitigation Measures
Poor drainage, shallow water table & frost action	Draintile, granular material & sump pump
Low Strength	Geotextile fabric & granular material
Shrink-swell potential	Granular material for backfill & base
Corrosivity to steel	PVC pipe use and plastic wrap on metal items

Soil borings performed by Midwest Testing Laboratory in 2005 prior to the initial infrastructure construction generally confirm the NRCS Soil Survey data. Typically, there is approximately 1 foot of topsoil, followed by 5 to 8 feet of alluvial fat and lean clays of medium stiffness. Some of the borings found silt layers 2 to 4 feet thick. The alluvial clays and silts are underlain by soft, lacustrine fat clays extending beyond the depths of the borings. The moisture content varied with depth, ranging from 29% to 37.5% in the upper 10 feet, 40% to 50% between approximately 10 and 18 feet below the surface, and greater than 70% below 18 feet.

C. Public Access / Streets

The primary access to this development will be from the following functionally classified streets – 14th St S (collector), and 20th St S and 40th Ave S (both minor arterials). These roadways are all on the City's Municipal State Aid (MSA) street system. The development also directly abuts 34th Ave S, which is not functionally

classified and is considered a ‘local’ street. Twentieth St S is currently a non-existing roadway that is proposed for construction in 2015 or 2016, pending Council authorization. Fourteenth St S was paved as a rural section roadway in 2002. At a future date, it is anticipated that it will be reconstructed as an urban section. However, the pavement is in good condition and the road width is sufficient for the current short term traffic needs, so no improvements are currently planned for 14th St within the next 5 years.

The proposed internal streets within the subdivision (with the exception of 20th St S) will be constructed consistent with the design requirements of other local streets in residential areas. For the purposes of this report, it has been assumed that all local streets will be constructed to have a typical total width of 37-feet (to allow parking on both sides of the street) with mountable type concrete curb and gutter. It is recommended to allow for parking on both sides of 36th Ave S and 18th St S since those streets abut the high density apartment lot. The remaining street improvements that are to be constructed sometime in the future serve only low density residential properties. Therefore, they could be constructed narrower with parking restricted to one side. If so, the costs and assessments in this report would need to be adjusted. The proposed initial typical section is 6 inches of bituminous surfacing and 6 inches of aggregate base constructed over geotextile reinforcement fabric with a 12-inch compacted sub cut. A final bituminous wearing surface (1.5 to 2 inches) will be constructed at a future date to be determined by the City (typically 3 to 5 years from the initial street construction). Side lot sidewalks will be installed with the respective street construction projects. The remaining sidewalks will be installed by the individual homebuilders at the time the individual lots are developed and will not be considered as part of this report.

It is proposed to construct 20th St S in accordance with the 20th Street and TH 75 Corridor Study completed in April, 2008, and to the design standards of recent 20th St S reconstruction projects between 6th Ave S and 24th Ave S. The proposed roadway will consist of an urban section with barrier style curb and gutter, and one lane of traffic in each direction, divided by a raised median. Turn lanes will be included at significant intersections. The proposed typical section is 8 inches of concrete on 9 inches of Class 5 Aggregate base and 12 inches of Select Granular Borrow with geotextile fabric for strength and stabilization. It is recommended to acquire at least 15 feet of additional right-of-way or easements between 36th Ave S and 40th Ave S to allow for a possible future expansion to 4-lanes. This may require replatting Blocks 10, 11 & 12 in order to maintain desirable lot depths for the lots abutting 20th St.

D. Sanitary Sewer

This subdivision is in the service area of Lift Station #18 and is in accordance with the City’s sanitary sewer master plan for trunk utilities. There is an existing 10-inch PVC sanitary sewer main within Johnson Drive between 16th and 20th St S that has sufficient capacity and depth to provide gravity service to all of Johnson Farms.

However, this assumes that the maximum number of total cumulative units will not exceed 669. Should development plans change at a future date that would increase the total number of units, it would be necessary to evaluate the actual sewer system flows and capacity prior to approval. The system also includes a 10-inch PVC overflow pipe on 16th St S between Johnson Drive and 40th Ave S that drains to Lift Station #37. This pipe was installed with the initial improvements as a temporary connection because Johnson Farms was developed before Lift Station #18 had been constructed.

The remaining lots will be served from 8-inch PVC sanitary sewer mains that allow for a typical use of 350 gallons per day for single family homes and 250 gallons per apartment unit, and a peaking factor of 3.8. The remaining 151 proposed attached and detached homes in the subdivision would generate a peak flow of approximately 147 gallons per minute (gpm), which is well within the capacity of the proposed 8-inch sanitary sewer mains. This design includes a small amount of anticipated infiltration and inflow, but does not include capacity for sump pumps, roof drains and foundation drains, which are prohibited by City Code. At ultimate development, the subdivision will generate a peak flow of approximately 560 gallons per minute, which is approximately equal to the theoretical maximum capacity of the existing sewer main.

The sewers will be constructed in accordance with the applicable 10-State Standards and City standards and the MPCA permit requirements. This includes a minimum design grade of 0.40% for the 8-inch sewer to maintain adequate self-cleansing velocity of 2.0 feet per second, and a maximum manhole spacing of no more than 400 feet. The sanitary sewer mains will be constructed at the minimum depths necessary to construct full basements since the surrounding properties are already developed so further extensions will not be necessary. In order to comply with Minnesota Office of Pipeline Safety (MnOPS) requirements that all service laterals constructed after January 1, 2006 be locatable, sanitary sewer cleanouts will be installed on each service at the edge of the utility easement to enable City Staff to more accurately locate service laterals both horizontally and vertically.

E. Watermain

All watermains in and adjacent to the project area are PVC mains. The mains previously installed within Johnson Farms are 6" and 8" diameter, except for a 10-inch main on 16th St S between Johnson Drive and 40th Ave S. There is an existing 12-inch main along 40th Ave S, an 8-inch main on 14th St S, and a 6-inch main on 34th Ave S. In accordance with the Water Distribution System Modeling and Capital Improvements Study completed for Moorhead Public Service in 2006, these mains have sufficient capacity to provide service to the entire Johnson Farms common plan.

It is proposed that all new watermains remaining to be constructed in Johnson Farms be 8-inch PVC C900. This will meet the recommended Needed Fire Flow (NFF)

standards in accordance with the Insurance Services Office (ISO) of 1,000 gpm for buildings spaced 11-30' apart and 1,500 gpm for buildings spaced 10 feet or less. It is proposed to construct mains along all of the streets except for the portion of 20th St S between 36th Ave S and Johnson Drive. Fire hydrants and gate valves will be installed at 300-foot to 400-foot intervals in accordance with Moorhead Public Service standards.

F. Drainage

The entire Johnson Farms drainage area is treated by the Johnson Farms storm water pond that was constructed with the initial phase of development in 2005 in accordance with the March, 2004 "South Moorhead Stormwater Management Plan" developed by Houston Engineering. In accordance with that plan, an additional 200 acres of upstream residential, park and institutional property is treated by the South Side Regional Park pond which discharges into the Johnson Farms pond through a 48 to 54-inch storm sewer along 36th Ave S. The normal operating surface of the pond was raised approximately 9 inches at the request of the adjacent property owners and in accordance with the Houston Engineering memo dated August 26, 2013. The existing pond is approximately 4.6 acres in size at the normal water surface (elevation = 896.75), and 8.5 acres at the freeboard elevation of 908.0. It discharges through a lift station into the Belsly Swale and eventually outlets to the Red River of the North in the 3400 block of Rivershore Drive.

The property is generally level with an elevation ranging from 908 to 910. The 100-year and 500-year FEMA flood plain elevations for the Red River in this area are 904 and 908, respectively, so the flood risk of developing this property is relatively low.

Based upon typical residential development and the previous development within Johnson Farms, it is anticipated that up to 19 acres (45% of the remaining undeveloped platted area) will be converted from pervious to impervious surface. The lateral storm sewer will be designed in accordance with the City Standards for a 3-year design event. The existing trunk storm sewers and stormwater treatment ponds were designed to receive runoff from this site. Per the 2005 "South Moorhead Stormwater Management Plan" and the August 26, 2013 Memo, the existing Johnson Farms regional detention pond will meet MPCA stormwater permit requirements for treatment of runoff and will provide storage for up to the 100-year, 24-hour rainfall event (5.26 inches) with 3 feet of freeboard remaining.

Draintile will be installed behind the curb on both sides of the street and connected to the storm sewer system. This will protect the streets by removing subsurface moisture.

III. Permits and Easements

The proposed storm sewer improvements will require several side lot drainage and utility easements to be provided. These easements include: the north 10 feet of Lots 5 and 9, block 7; the north 5 feet of Lots 5 and 13, and the south 5 feet of Lots 4 and 12, Block 11. It is also proposed to establish an additional 15 feet of right-of-way for 20th St S by replatting Blocks 10-12, and reserving it from Lot 12, Block 14 prior to selling that lot. The City should also acquire 15 feet of easement from the owner of Lot 13, block 14 to use for pedestrian, street, drainage and utility purposes. Otherwise, all required right-of-way and easements have been provided for this project as part of the plat process.

Various permits will be required to construct the proposed improvements, these include:

- 1.) MPCA General Stormwater Permit
- 2.) MPCA Sanitary Sewer Extension Permit
- 3.) MDH Permit for Watermain Extension
- 4.) BRRWD Permit for Drainage Improvements

These permits will be applied for during the design phase. It is anticipated that the respective agencies will grant the permits after a short review period. It is not anticipated that a dewatering permit will be necessary. If a dewatering permit is required, it will be the Contractor's responsibility to obtain during construction.

As part of the MPCA General Stormwater Permit requirements, it will be necessary to prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP must describe the temporary and permanent erosion control measures to be used, and identify a person or body that will assume responsibility for implementing the plan during construction. After construction of the street and utility improvements, the permit will be transferred to the Developer, builders and property owners who will be responsible for maintaining erosion control devices until the property is developed. Ultimately, the City will maintain the storm sewer system, including the stormwater pond.

IV. Estimated Project Costs

The total estimated project cost to construct the above-described improvements is approximately \$3,980,000. This cost includes the future final bituminous wear course, but excludes the cost of constructing 20th St S which will be considered separately. The estimated cost includes 10% contingencies to account for miscellaneous testing and unforeseen construction costs, and 16.55% for engineering, legal, and administrative project costs. The total project area consists of three distinct areas that have varying amounts of improvements necessary in order to fully develop the property. Therefore, the project costs have been estimated as multiple separate

projects that could be constructed as a single project or as multiple projects. The engineer's estimate of probable costs is included as exhibit # 4 and is summarized in Table 2.

Table 2: Estimated Project Costs				
Area	Description	Remaining Streets & Utilities	Final Bituminous Wear Course	Total
1	Lots 12-22 Block 7 Johnson Farms & Johnson Farms 3rd	\$ 794,870	\$ 109,000	\$ 903,870
2	Lots 32-43 Block 6 & Lots 1-11 Block 7 Johnson Farms	\$ 487,180	\$ 51,300	\$ 538,480
3	Blocks 10-12, Lots 14-26 Block 13 & Lots 2-12 Block 14 Johnson Farms	\$ 2,294,870	\$ 243,600	\$ 2,538,470
Total Costs		\$ 3,576,920	\$ 403,900	\$ 3,980,820

There have been 10 previous municipal infrastructure improvements completed that benefited both Johnson Farms 3rd Addition and the remaining undeveloped properties in Johnson Farms Addition. These projects resulted in original assessments totaling \$1,858,392.23 to the lots in the area that would benefit from the additional proposed improvements. These prior public projects were constructed between 2002 and 2013, and a portion of the costs have been paid since the original assessments were levied. The projects, original assessments, and remaining uncertified balance by project area is summarized in Table 3, below.

Table 3: Existing & Pending Special Assessments				
Area	Project	Original Assessment	Uncertified Balance	
1	Lots 12-22 Block 7 Johnson Farms Johnson Farms 3rd	\$ 198,941 \$ 427,854	\$ 169,408 \$ 330,948	
2	Lots 32-43 Block 6 & Lots 1-11 Block 7 Johnson Farms	\$ 241,121	\$ 186,783	
3	Blocks 10-12, Lots 14-26 Block 13 & Lots 2-12 Block 14 Johnson Farms	\$ 990,477	\$ 770,568	
Total Costs		\$ 1,858,392	\$ 1,457,707	

V. Proposed Project Financing

It is proposed to assess 100% of the proposed project cost to the benefiting properties in accordance with the City's Special Assessment Policy. Note that the cost of the 20th Street South extension is not included in this analysis. It will be considered in a separate feasibility study, and will likely need to be financed through a combination of special assessments, Municipal State Aid funds and City general funds. The Developer has petitioned to have the cost of the Johnson Farms 3rd Phase 2 Street & Utility Improvements financed through the use of special assessments against the benefiting properties in accordance with Minnesota Statutes Annotated, Chapter 429 (MSA 429). MSA 429 allows the City to construct improvements and assess the cost of those improvements to City owned property or to private property without a petition if ordered by the Council after holding a Public Hearing on the proposed improvements. The City's Finance Department has reviewed the proposed apportionment of the project costs and finds that they are reasonable and consistent with the local market.

The proposed special assessments are attached as Exhibit #5 and are summarized in Table #4 below. When averaged out on a per front foot basis, the proposed project assessments for the remaining infrastructure needed to develop three sub-areas would range from approximately \$268 to \$368 per front foot. When the existing and pending special assessments for previously constructed infrastructure are added, the total amount of special assessments is approximately \$505 per front foot. This is consistent with typical lot sales prices within the local single family home real estate market. This value is based on the preliminary engineer's estimate and should be expected to change depending on the actual bids and final construction costs. Table 4 summarizes the average assessable cost per front foot for the respective project areas, and by the square foot for the Johnson Farms 3rd apartment lot. Table 4 also shows the total cumulative assessments to date, which adds the previously assessed project costs to the proposed assessments for the purpose of comparing the final assessed project costs to other recent subdivisions.

Table 4: Proposed & Cumulative Special Assessments

Area	Project	Assessment Unit	Assessable Units	Proposed Assessment Per Unit	Total Cumulative Assessments Per Unit
1	Lots 12-22 Block 7 Johnson Farms Johnson Farms 3rd	Front Foot Area (SF)	848 393,791	\$ 268 \$ 1.11	\$ 503 \$ 2.19
2	Lots 32-43 Block 6 & Lots 1-11 Block 7 Johnson Farms	Front Foot	1,766	\$ 368	\$ 505
3	Blocks 10-12, Lots 14-26 Block 13 & Lots 2-12 Block 14 Johnson Farms	Front Foot	7,289	\$ 366	\$ 502

VI. Proposed Project Schedule

All of the proposed improvements could be completed in a single construction season. However, the current demand for new developable lots does not justify making all of the improvements at this time, and in accordance with the City's standard practice it is recommended to delay the final bituminous wearing course for at least 1 to 3 years following the initial utility installation to allow for long term settlement of the utility trenches. Since the developer of Johnson Farms 3rd Addition has requested the street construction of 36th Ave S and 18th St S, it is proposed to construct those improvements in 2014, and for all other improvements to be completed at a date to be determined by the City. The proposed Johnson Farms 3rd Addition street improvements could be completed in accordance with the following schedule:

Project Item	Scheduled Completion
Prepare Feasibility Study & Receive Petitions	January, 2014
Prepare & Approve Plans & Specifications, Obtain Permits	Jan.-Feb., 2014
Receive Bids, Award Contract	Feb.-March, 2014
Construct Underground Improvements	April – June, 2014
Construct Initial Street Improvements	June – Aug., 2014
Initial Project Assessments	Spring 2015
Construct Final Bituminous Wear Course	2016
Final Bituminous Wear Course Assessments	2017

VII. Summary and Recommendations

The proposed Johnson Farms improvements are in accordance with the City's overall plan for development in this area. The improvements are feasible, and are necessary for the development to occur. It is proposed to construct the first phase of the improvements (Johnson Farms 3rd Addition Phase 2 Street & Utility Improvements) as a stand-alone project in 2014. All other remaining improvements (including the Johnson Farms 3rd final bituminous wearing course) will be constructed at a future date to be determined by the City, and may be constructed separately or combined with some other project or projects. The overall project costs, projected assessments, and method of allocating the proposed special assessments have been reviewed and approved by the City Finance Department.

It is therefore recommended that the improvements be made in accordance with the Developer's Agreement and the applicable City standards, and that the cost of the improvements be assessed back to the benefiting properties.

Exhibit #1: Johnson Farms Project Area

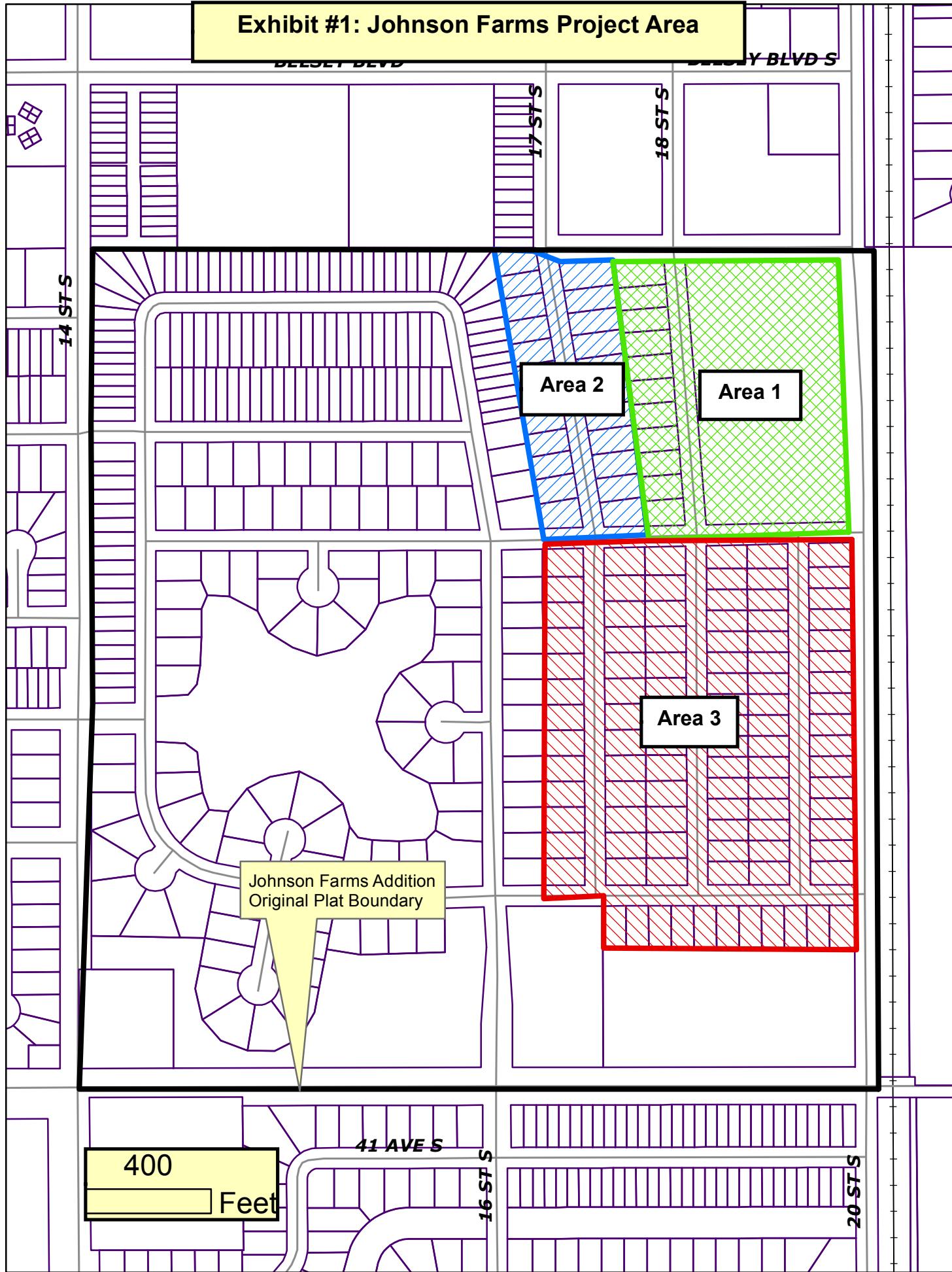


Exhibit #2: Proposed Utilities for Johnson Farms Buildout

Faded lines represent existing utilities.

Legend

Sanitary Sewer

- Manhole

Sanitary Mains

- 8" San. Main

Storm Sewer

Manholes

- Manhole

- Grated Manhole

- Catch Basin

Storm Mains

Diameter

- 15

- 18

- 24

- 30

- 42

Water Distribution

- 8" Water Main

- Hydrant Lateral

- Fire Hydrant



Feet

0 75 150 300

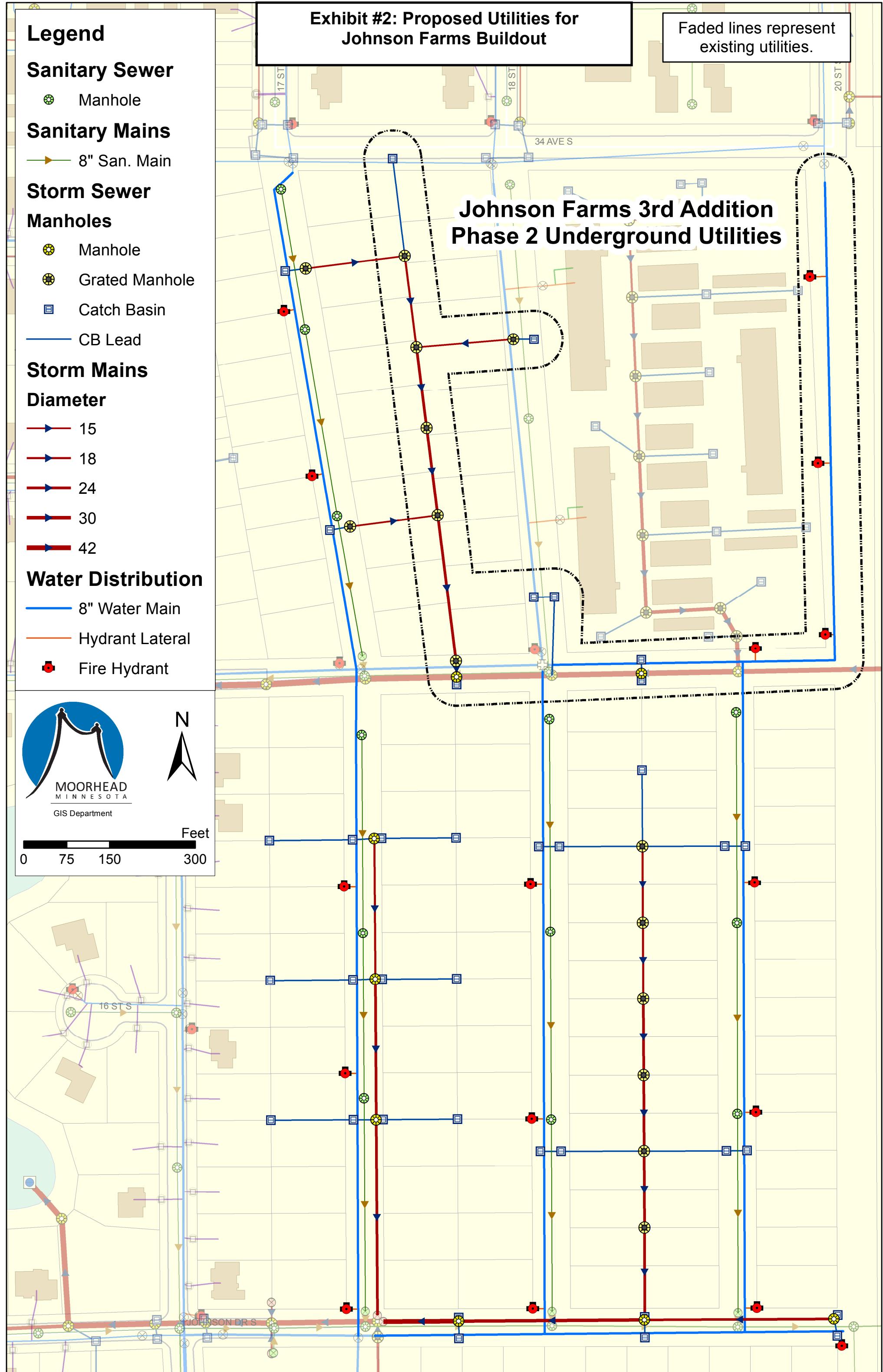


Exhibit #3: Proposed Street Improvements for Johnson Farms Buildout

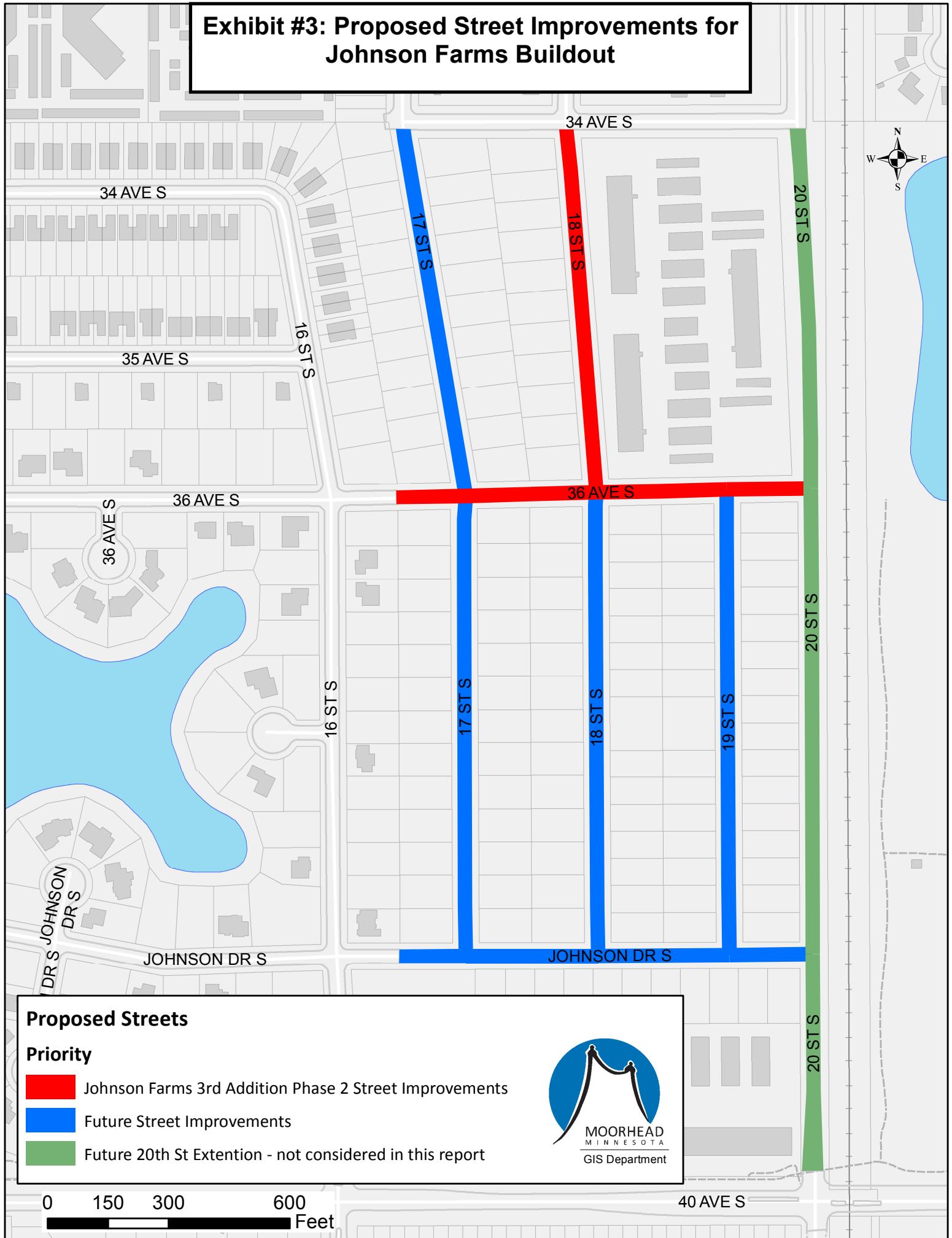


Exhibit #4: Engineer's Estimate
Johnson Farms 3rd Addition Street & Storm Sewer
Feasibility Report Estimate
Eng. No. 14-A2-05

36th Ave S (16th - 20th St) and 18th St S (34th - 36th Ave)

Section I - Street Construction					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501/00010	MOBILIZATION	LS	1	\$ 12,638.50	\$ 12,638.50
2104.501	REMOVE CONCRETE CURB & GUTTER	LF	40	\$ 10.00	\$ 400.00
2104.505	REMOVE BITUMINOUS PAVEMENT	SY	67	\$ 10.00	\$ 670.00
2104.513	SAW BITUMINOUS PAVEMENT	LF	100	\$ 6.00	\$ 600.00
2105.501/00010	COMMON EXCAVATION	CY	2,815	\$ 5.00	\$ 14,075.00
2105.535/00031	SALVAGED TOPSOIL TO AND FROM STOCKPILE (SV)	CY	3,704	\$ 2.00	\$ 7,408.00
2105.604/00020	GEOTEXTILE FABRIC	SY	8,444	\$ 3.50	\$ 29,554.00
2112.604/00010	SUBGRADE PREPARATION	SY	8,444	\$ 1.50	\$ 12,666.00
2123.610/00060	MACHINE TIME	HR	5	\$ 400.00	\$ 2,000.00
2211.503/00050	AGGREGATE BASE (CV) CLASS 5, (P)	CY	1,407	\$ 30.00	\$ 42,210.00
2360.501/2360.502	BITUMINOUS BASE & INTERIM WEAR COURSE - TYPE 3	TON	2,371	\$ 70.00	\$ 165,970.00
2502.541/07040	4" PERF PE PIPE DRAIN	LF	3,800	\$ 5.00	\$ 19,000.00
2504.602	ADJUST GATE VALVE & BOX	EACH	12	\$ 400.00	\$ 4,800.00
2506.522/00011	ADJUST FRAME & RING CASTING	EACH	8	\$ 500.00	\$ 4,000.00
2521.501/00040	4" CONCRETE WALK	SF	14,400	\$ 5.00	\$ 72,000.00
2531.501	Concrete Curb and Gutter - Design, Type "C"	LF	920	\$ 13.00	\$ 11,960.00
2531.501/04180	CONCRETE CURB & GUTTER DESIGN B624	LF	2,880	\$ 13.00	\$ 37,440.00
2531.602/00010	PEDESTRIAN CURB RAMP	EACH	24	\$ 750.00	\$ 18,000.00
2563.601/00010	TRAFFIC CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00
2564.602	FURNISH & INSTALL SIGN (Regulatory Sign)	EACH	2	\$ 350.00	\$ 700.00
2564.602	FURNISH & INSTALL SIGN (Street Name Sign)	EACH	2	\$ 300.00	\$ 600.00
2575.605	TURF ESTABLISHMENT	ACRE	2.8	\$ 2,000.00	\$ 5,600.00
2575.601/00010	EROSION CONTROL	LS	1	\$ 10,000.00	\$ 10,000.00
Section I - Street Construction Sub Total					\$ 473,291.50
Section II - Sanitary Sewer					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.602/00040	CONNECT TO EXISTING SANITARY SEWER	EACH	0	\$ 500.00	\$ -
2503.602/13402	8"X4" PVC WYE	EACH	0	\$ 350.00	\$ -
2503.603/00106	8" PVC PIPE SEWER - SDR 26	LF	0	\$ 35.00	\$ -
2503.603/00106	8" PVC PIPE SEWER - SDR 35	LF	0	\$ 25.00	\$ -
2503.603/00704	4" PVC SANITARY SERVICE PIPE	LF	0	\$ 15.00	\$ -
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN F-MODIFIED	EACH	0	\$ 3,000.00	\$ -
Spec Prov	Sanitary Sewer Riser - 4"	LF	0	\$ 15.00	\$ -
Spec Prov	Sanitary Sewer Cleanout	EACH	0	\$ 200.00	\$ -
Spec Prov	Televise - Lateral Sanitary Sewer - 4"	LF	0	\$ 1.50	\$ -
Spec Prov	Televise - Mainline Sanitary Sewer - 8"	LF	1,539	\$ 1.50	\$ 2,308.50
Section II - Sanitary Sewer Sub Total					\$ 2,308.50
Section III - Watermain					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2504.602/00010	CONNECT TO EXISTING WATER MAIN	EACH	2	\$ 500.00	\$ 1,000.00
2504.602/00020	HYDRANT	EACH	4	\$ 3,500.00	\$ 14,000.00
2504.602/00342	WATERMAIN FITTINGS	EACH	5	\$ 350.00	\$ 1,750.00
2504.603/02006	6" PVC WATERMAIN	LF	40	\$ 20.00	\$ 800.00
2504.603/02008	8" PVC WATERMAIN	LF	1,350	\$ 24.00	\$ 32,400.00
2504.602/00410	1" CORPORATION STOP	EACH	0	\$ 150.00	\$ -
2504.602/03100	1" CURB STOP & BOX	EACH	0	\$ 300.00	\$ -
2504.602/00806	6" GATE VALVE AND BOX	EACH	2	\$ 800.00	\$ 1,600.00
2504.602/00808	8" GATE VALVE AND BOX	EACH	4	\$ 1,200.00	\$ 4,800.00
2504.602/00003	WATER SERVICE TAP & HOOKUP	EACH	0	\$ 300.00	\$ -
2504.603/00710	1" TYPE K COPPER PIPE	LF	0	\$ 15.00	\$ -
Section III - Watermain Sub Total					\$ 56,350.00

Section IV - Storm Sewer

Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.511/13120	12" PVC PIPE SEWER	LF	0	\$ 20.00	\$ -
2503.511/13150	15" PVC PIPE SEWER	LF	0	\$ 25.00	\$ -
2503.511/13240	24" PVC PIPE SEWER	LF	0	\$ 35.00	\$ -
2503.541/90123	12" RC PIPE SEWER DESIGN 3006 CLASS III	LF	310	\$ 25.00	\$ 7,750.00
2503.541/90153	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	900	\$ 28.00	\$ 25,200.00
2503.541/90183	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	300	\$ 32.00	\$ 9,600.00
2503.541/90243	24" RC PIPE SEWER DESIGN 3006 CLASS III	LF	0	\$ 45.00	\$ -
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EACH	5	\$ 2,500.00	\$ 12,500.00
2506.501/03020	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	EACH	2	\$ 4,000.00	\$ 8,000.00
2506.501/04220	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4020	EACH	1	\$ 7,500.00	\$ 7,500.00
2506.502/00033	CONSTRUCT DRAINAGE STRUCTURE DESIGN C G OR H	EACH	7	\$ 1,000.00	\$ 7,000.00
2506.602/00020	CONNECT INTO EXISTING STORM SEWER	EACH	1	\$ 500.00	\$ 500.00
Spec Prov	REAR YARD GRADING	LS	1	\$ 10,000.00	\$ 10,000.00
Section IV - Storm Sewer Sub Total				\$ 88,050.00	

Construction Grand Total \$ 620,000.00

Construction Contingencies 10.00% \$ 62,000.00

Subtotal

Engineering and Admin Fee 16.55% \$ 112,870.00

Project Total \$ **794,870.00**

Future Final Wearing Course

Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501	Mobilization	Ls	1	\$ 4,157.00	\$ 4,157.00
2231.604	Bituminous Patch (12")	Sy	135	\$ 75.00	\$ 10,125.00
2232.501	Mill Bituminous Pavement	Sy	253	\$ 8.00	\$ 2,024.00
2357.502	Bituminous Material for Tack Coat	Gal	236	\$ 4.00	\$ 944.00
2360.501	Wearing Course Mixture Type SPWEB340B	Ton	790	\$ 75.00	\$ 59,250.00
2504.602	Adjust Gate Valve Box	Ea	12	\$ 250.00	\$ 3,000.00
2506.522	Adjust Frame and Ring Casting	Ea	8	\$ 500.00	\$ 4,000.00
2563.601	Traffic Control	Ls	1	\$ 1,500.00	\$ 1,500.00
Future Final Wearing Course				\$ 85,000.00	
Construction Contingencies				10.00%	\$ 8,500.00
Subtotal				\$ 93,500.00	
Engineering and Admin Fee				16.55%	\$ 15,500.00
Project total				\$ 109,000.00	

Proposed Johnson Farms 3rd Addition Street Construction Assessments	Lots	StS & WM	Street	Total	Per Lot Assessment
Johnson Farms 3rd Apartment Lot	1	\$ 76,380	\$ 304,870	\$ 381,250	\$ 381,250.00
West side of 18th St (Lots 12 - 22, Block 7)	12	\$ 68,480	\$ 131,800	\$ 200,280	\$ 16,690.00
17th St lots (Lots 32-43, Block 6 & Lots 1 - 11, Block 7)	26	\$ 40,260	\$ 57,690	\$ 97,950	\$ 3,767.31
Lots south of 36th Ave S	103.5	\$ -	\$ 115,380	\$ 115,380	\$ 1,114.78
Proposed Johnson Farms 3rd Street Construction Assessments		\$ 185,120	\$ 609,740	\$ 794,860	

Proposed Johnson Farms 3rd Addition Final Wear Course Assessments	Lots	StS & WM	Street	Total	Per Lot Assessment
Johnson Farms 3rd Apartment Lot	1	\$ -	\$ 54,500	\$ 54,500	\$ 54,500.00
West side of 18th St (Lots 12 - 22, Block 7)	12	\$ -	\$ 27,240	\$ 27,240	\$ 2,270.00
17th St lots (Lots 32-43, Block 6 & Lots 1 - 11, Block 7)	26	\$ -	\$ 13,630	\$ 13,630	\$ 524.23
Lots south of 36th Ave S	103.5	\$ -	\$ 13,630	\$ 13,630	\$ 131.69
Proposed Johnson Farms 3rd Street Construction Assessments		\$ -	\$ 109,000	\$ 109,000	

Total Cumulative Special Assessments to lots on west side of 18th St S	Lots	Incoming	Future	Total	Per Lot Assessment
Future Final Wearing Course	12	\$ -	\$ 27,240.00	\$ 27,240.00	\$ 2,270.00
Assess Project #14-A2-05 to lots on west side of 18th St S	12	\$ -	\$ 200,280.00	\$ 200,280.00	\$ 16,690.00
Original Recorded Specials	12	\$ 104,543.40	\$ -	\$ 104,543.40	\$ 8,711.95
Pending Specials (Johnson Farms 3rd Underground Utilities #12-A6-03)	12	\$ 94,397.81	\$ -	\$ 94,397.81	\$ 7,866.48
Total Cumulative Special Assessments to lots on west side of 18th St S	12			\$ 426,461.21	\$ 35,538.43

Total Cumulative Assessments on Johnson Farms 3rd apartment lot	Area	Total	Per SF Assessment
Future Final Wearing Course	393,791	\$ 54,500.00	\$ 0.14
Proposed 36th Ave S and 18th St S	393,791	\$ 381,250.00	\$ 0.97
Original Recorded Specials	393,791	\$ 340,619.44	\$ 0.86
Pending Specials (Johnson Farms 3rd Underground Utilities)	393,791	\$ 87,234.38	\$ 0.22
Total Cumulative Assessments on Johnson Farms 3rd apartment lot		\$ 863,603.82	\$ 2.19

Exhibit #4: Engineer's Estimate
Johnson Farms 1st Addition - 17th St Underground Utility & Street Improvements
Feasibility Report Estimate
Eng. No. TBD
17th St S (34th to 36th Ave)

Section I - Street Construction					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501/00010	MOBILIZATION	LS	1	\$ 11,253.00	\$ 11,253.00
2104.501	REMOVE CONCRETE CURB & GUTTER	LF	40	\$ 10.00	\$ 400.00
2104.505	REMOVE BITUMINOUS PAVEMENT	SY	111	\$ 10.00	\$ 1,110.00
2104.513	SAW BITUMINOUS PAVEMENT	LF	100	\$ 6.00	\$ 600.00
2105.501/00010	COMMON EXCAVATION	CY	1,385	\$ 5.00	\$ 6,925.00
2105.535/00031	SALVAGED TOPSOIL TO AND FROM STOCKPILE (SV)	CY	1,607	\$ 2.00	\$ 3,214.00
2105.604/00020	GEOTEXTILE FABRIC	SY	4,156	\$ 3.50	\$ 14,546.00
2112.604/00010	SUBGRADE PREPARATION	SY	4,156	\$ 1.50	\$ 6,234.00
2123.610/00060	MACHINE TIME	HR	10	\$ 400.00	\$ 4,000.00
2211.503/00050	AGGREGATE BASE (CV) CLASS 5, (P)	CY	693	\$ 30.00	\$ 20,790.00
2360.501/2360.502	BITUMINOUS BASE & INTERIM WEAR COURSE - TYPE 3	TON	1,167	\$ 70.00	\$ 81,690.00
2502.541/07040	4" PERF PE PIPE DRAIN	LF	1,870	\$ 5.00	\$ 9,350.00
2504.602	ADJUST GATE VALVE & BOX	EACH	2	\$ 400.00	\$ 800.00
2506.522/00011	ADJUST FRAME & RING CASTING	EACH	2	\$ 500.00	\$ 1,000.00
2521.501/00040	4" CONCRETE WALK	SF	0	\$ 5.00	\$ -
2531.501	Concrete Curb and Gutter - Design, Type "C"	LF	1,870	\$ 13.00	\$ 24,310.00
2531.501/04180	CONCRETE CURB & GUTTER DESIGN B624	LF	0	\$ 13.00	\$ -
2531.602/00010	PEDESTRIAN CURB RAMP	EACH	4	\$ 750.00	\$ 3,000.00
2563.601/00010	TRAFFIC CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00
2564.602	FURNISH & INSTALL SIGN (Regulatory Sign)	EACH	1	\$ 350.00	\$ 350.00
2564.602	FURNISH & INSTALL SIGN (Street Name Sign)	EACH	1	\$ 300.00	\$ 300.00
2575.605	TURF ESTABLISHMENT	ACRE	1.1	\$ 2,000.00	\$ 2,200.00
2575.601/00010	EROSION CONTROL	LS	1	\$ 10,000.00	\$ 10,000.00
Section I - Street Construction Sub Total					\$ 203,072.00
Section II - Sanitary Sewer					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.602/00040	CONNECT TO EXISTING SANITARY SEWER	EACH	1	\$ 500.00	\$ 500.00
2503.602/13402	8"X4" PVC WYE	EACH	29	\$ 350.00	\$ 10,150.00
2503.603/00106	8" PVC PIPE SEWER - SDR 26	LF	0	\$ 35.00	\$ -
2503.603/00106	8" PVC PIPE SEWER - SDR 35	LF	880	\$ 25.00	\$ 22,000.00
2503.603/00704	4" PVC SANITARY SERVICE PIPE	LF	1,392	\$ 15.00	\$ 20,880.00
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN F-MODIFIED	EACH	3	\$ 3,000.00	\$ 9,000.00
Spec Prov	Sanitary Sewer Riser - 4"	LF	58	\$ 15.00	\$ 870.00
Spec Prov	Sanitary Sewer Cleanout	EACH	29	\$ 200.00	\$ 5,800.00
Spec Prov	Televise - Lateral Sanitary Sewer - 4"	LF	1,392	\$ 1.50	\$ 2,088.00
Spec Prov	Televise - Mainline Sanitary Sewer - 8"	LF	880	\$ 1.50	\$ 1,320.00
Section II - Sanitary Sewer Sub Total					\$ 72,608.00
Section III - Watermain					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2504.602/00010	CONNECT TO EXISTING WATER MAIN	EACH	2	\$ 500.00	\$ 1,000.00
2504.602/00020	HYDRANT	EACH	2	\$ 3,500.00	\$ 7,000.00
2504.602/00342	WATERMAIN FITTINGS	EACH	3	\$ 350.00	\$ 1,050.00
2504.603/02006	6" PVC WATERMAIN	LF	40	\$ 20.00	\$ 800.00
2504.603/02008	8" PVC WATERMAIN	LF	935	\$ 24.00	\$ 22,440.00
2504.602/00410	1" CORPORATION STOP	EACH	29	\$ 150.00	\$ 4,350.00
2504.602/03100	1" CURB STOP & BOX	EACH	29	\$ 300.00	\$ 8,700.00
2504.602/00806	6" GATE VALVE AND BOX	EACH	2	\$ 800.00	\$ 1,600.00
2504.602/00808	8" GATE VALVE AND BOX	EACH	2	\$ 1,200.00	\$ 2,400.00
2504.602/00003	WATER SERVICE TAP & HOOKUP	EACH	29	\$ 300.00	\$ 8,700.00
2504.603/00710	1" TYPE K COPPER PIPE	LF	1,392	\$ 15.00	\$ 20,880.00
Section III - Watermain Sub Total					\$ 78,920.00

Section IV - Storm Sewer

Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.511/13120	12" PVC PIPE SEWER	LF	0	\$ 20.00	\$ -
2503.511/13150	15" PVC PIPE SEWER	LF	0	\$ 25.00	\$ -
2503.511/13240	24" PVC PIPE SEWER	LF	0	\$ 35.00	\$ -
2503.541/90123	12" RC PIPE SEWER DESIGN 3006 CLASS III	LF	80	\$ 25.00	\$ 2,000.00
2503.541/90153	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	300	\$ 28.00	\$ 8,400.00
2503.541/90183	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	0	\$ 32.00	\$ -
2503.541/90243	24" RC PIPE SEWER DESIGN 3006 CLASS III	LF	0	\$ 45.00	\$ -
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EACH	0	\$ 2,500.00	\$ -
2506.501/03020	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	EACH	0	\$ 4,000.00	\$ -
2506.501/04220	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4020	EACH	0	\$ 7,500.00	\$ -
2506.502/00033	CONSTRUCT DRAINAGE STRUCTURE DESIGN C G OR H	EACH	4	\$ 1,000.00	\$ 4,000.00
2506.602/00020	CONNECT INTO EXISTING STORM SEWER	EACH	2	\$ 500.00	\$ 1,000.00
Spec Prov	REAR YARD GRADING	LS	1	\$ 10,000.00	\$ 10,000.00
Section IV - Storm Sewer Sub Total				\$ 25,400.00	

Construction Grand Total

\$ 380,000.00

Construction Contingencies

10.00% \$ 38,000.00

Subtotal

Engineering and Admin Fee

16.55% \$ 69,180.00

Project Total

 \$ **487,180.00**
Future Final Wearing Course

Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501	Mobilization	Ls	1	\$ 1,911.00	\$ 1,911.00
2231.604	Bituminous Patch (12")	Sy	66	\$ 75.00	\$ 4,950.00
2232.501	Mill Bituminous Pavement	Sy	125	\$ 8.00	\$ 1,000.00
2357.502	Bituminous Material for Tack Coat	Gal	116	\$ 4.00	\$ 464.00
2360.501	Wearing Course Mixture Type SPWEB340B	Ton	389	\$ 75.00	\$ 29,175.00
2504.602	Adjust Gate Valve Box	Ea	2	\$ 250.00	\$ 500.00
2506.522	Adjust Frame and Ring Casting	Ea	2	\$ 500.00	\$ 1,000.00
2563.601	Traffic Control	Ls	1	\$ 1,000.00	\$ 1,000.00
Future Final Wearing Course				\$ 40,000.00	
Construction Contingencies				10.00%	\$ 4,000.00
Subtotal				\$	44,000.00
Engineering and Admin Fee				16.55%	\$ 7,300.00
Project total				\$	51,300.00

Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S	Lots	Incoming	Future	Total	Per Lot Assessment
Future Final Wearing Course	26	\$ 13,630	\$ 51,300	\$ 64,930	\$ 2,497.31
Future Proposed Assessments (JF 3rd Incoming & future)	26	\$ 97,950	\$ 487,180	\$ 585,130	\$ 22,505.00
Original Recorded Specials	26	\$ 222,299.57	\$	\$ 222,300	\$ 8,549.98
Pending Specials (Johnson Farms 3rd Underground Utilities)	26	\$ 18,821.00	\$	\$ 18,821	\$ 723.88
Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S	26			\$ 891,180.57	\$ 34,276.18

Exhibit #4: Engineer's Estimate

Johnson Farms 1st Addition - Johnson Drive, 17th, 18th & 19th St Underground Utility & Street Improvements

Feasibility Report Estimate

Eng. No. TBD

Johnson Drive (16th - 20th) and 17th, 18th & 19th St S (36th - Johnson Dr)

Section I - Street Construction					
Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501/00010	MOBILIZATION	LS	1	\$ 44,385.50	\$ 44,385.50
2104.501	REMOVE CONCRETE CURB & GUTTER	LF	40	\$ 20.00	\$ 800.00
2104.505	REMOVE BITUMINOUS PAVEMENT	SY	27	\$ 10.00	\$ 270.00
2104.513	SAW BITUMINOUS PAVEMENT	LF	40	\$ 6.00	\$ 240.00
2105.501/00010	COMMON EXCAVATION	CY	6,585	\$ 5.00	\$ 32,925.00
2105.535/00031	SALVAGED TOPSOIL TO AND FROM STOCKPILE (SV)	CY	8,437	\$ 2.00	\$ 16,874.00
2105.604/00020	GEOTEXTILE FABRIC	SY	19,756	\$ 3.50	\$ 69,146.00
2112.604/00010	SUBGRADE PREPARATION	SY	19,756	\$ 1.50	\$ 29,634.00
2123.610/00060	MACHINE TIME	HR	10	\$ 400.00	\$ 4,000.00
2211.503/00050	AGGREGATE BASE (CV) CLASS 5, (P)	CY	3,293	\$ 30.00	\$ 98,790.00
2360.501/2360.502	BITUMINOUS BASE & INTERIM WEAR COURSE - TYPE 3	TON	5,547	\$ 70.00	\$ 388,290.00
2502.541/07040	4" PERF PE PIPE DRAIN	LF	8,890	\$ 5.00	\$ 44,450.00
2504.602	ADJUST GATE VALVE & BOX	EACH	12	\$ 400.00	\$ 4,800.00
2506.522/00011	ADJUST FRAME & RING CASTING	EACH	20	\$ 500.00	\$ 10,000.00
2521.501/00040	4" CONCRETE WALK	SF	5,125	\$ 5.00	\$ 25,625.00
2531.501	Concrete Curb and Gutter - Design, Type "C"	LF	7,865	\$ 13.00	\$ 102,245.00
2531.501/04180	CONCRETE CURB & GUTTER DESIGN B624	LF	1,025	\$ 13.00	\$ 13,325.00
2531.602/00010	PEDESTRIAN CURB RAMP	EACH	12	\$ 750.00	\$ 9,000.00
2563.601/00010	TRAFFIC CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00
2564.602	FURNISH & INSTALL SIGN (Regulatory Sign)	EACH	2	\$ 350.00	\$ 700.00
2564.602	FURNISH & INSTALL SIGN (Street Name Sign)	EACH	3	\$ 300.00	\$ 900.00
2575.605	TURF ESTABLISHMENT	ACRE	6.4	\$ 2,000.00	\$ 12,800.00
2575.601/00010	EROSION CONTROL	LS	1	\$ 20,000.00	\$ 20,000.00
Section I - Street Construction Sub Total					\$ 930,199.50

Section II - Sanitary Sewer

Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.602/00040	CONNECT TO EXISTING SANITARY SEWER	EACH	3	\$ 500.00	\$ 1,500.00
2503.602/13402	8"X4" PVC WYE	EACH	87	\$ 350.00	\$ 30,450.00
2503.603/00106	8" PVC PIPE SEWER - SDR 26	LF	0	\$ 35.00	\$ -
2503.603/00106	8" PVC PIPE SEWER - SDR 35	LF	3,135	\$ 25.00	\$ 78,375.00
2503.603/00704	4" PVC SANITARY SERVICE PIPE	LF	5,232	\$ 15.00	\$ 78,480.00
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN F-MODIFIED	EACH	9	\$ 3,000.00	\$ 27,000.00
Spec Prov	Sanitary Sewer Riser - 4"	LF	174	\$ 15.00	\$ 2,610.00
Spec Prov	Sanitary Sewer Cleanout	EACH	109	\$ 200.00	\$ 21,800.00
Spec Prov	Televise - Lateral Sanitary Sewer - 4"	LF	5,232	\$ 1.50	\$ 7,848.00
Spec Prov	Televise - Mainline Sanitary Sewer - 8"	LF	3,135	\$ 1.50	\$ 4,702.50
Section II - Sanitary Sewer Sub Total					\$ 252,765.50

Section III - Watermain

Spec No.	Item	Unit	Quantity	Unit Price	Total
2504.602/00010	CONNECT TO EXISTING WATER MAIN	EACH	4	\$ 500.00	\$ 2,000.00
2504.602/00020	HYDRANT	EACH	10	\$ 3,500.00	\$ 35,000.00
2504.602/00342	WATERMAIN FITTINGS	EACH	13	\$ 350.00	\$ 4,550.00
2504.603/02006	6" PVC WATERMAIN	LF	200	\$ 20.00	\$ 4,000.00
2504.603/02008	8" PVC WATERMAIN	LF	4,445	\$ 24.00	\$ 106,680.00
2504.602/00410	1" CORPORATION STOP	EACH	109	\$ 150.00	\$ 16,350.00
2504.602/03100	1" CURB STOP & BOX	EACH	109	\$ 300.00	\$ 32,700.00
2504.602/00806	6" GATE VALVE AND BOX	EACH	10	\$ 800.00	\$ 8,000.00
2504.602/00808	8" GATE VALVE AND BOX	EACH	9	\$ 1,200.00	\$ 10,800.00
2504.602/00003	WATER SERVICE TAP & HOOKUP	EACH	109	\$ 300.00	\$ 32,700.00
2504.603/00710	1" TYPE K COPPER PIPE	LF	5,232	\$ 15.00	\$ 78,480.00
Section III - Watermain Sub Total					\$ 331,260.00

Section IV - Storm Sewer

Spec No.	Item	Unit	Quantity	Unit Price	Total
2503.511/13120	12" STORM SEWER	LF	1,050	\$ 20.00	\$ 21,000.00
2503.511/13150	18" STORM SEWER	LF	1,140	\$ 25.00	\$ 28,500.00
2503.511/13240	24" STORM SEWER	LF	330	\$ 32.00	\$ 10,560.00
2503.541/90123	12" RC PIPE SEWER DESIGN 3006 CLASS III	LF	400	\$ 25.00	\$ 10,000.00
2503.541/90153	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	270	\$ 32.00	\$ 8,640.00
2503.541/90183	24" RC PIPE SEWER DESIGN 3006 CLASS III	LF	600	\$ 45.00	\$ 27,000.00
2503.541/90243	30" RC PIPE SEWER DESIGN 3006 CLASS III	LF	855	\$ 65.00	\$ 55,575.00
2506.501/02420	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EACH	4	\$ 2,500.00	\$ 10,000.00
2506.501/03020	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	EACH	2	\$ 4,000.00	\$ 8,000.00
2506.501/03620	CONSTRUCT DRAINAGE STRUCTURE DESIGN 72-4020	EACH	4	\$ 4,000.00	\$ 16,000.00
2506.501/04220	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4020	EACH	3	\$ 7,500.00	\$ 22,500.00
2506.502/00033	CONSTRUCT DRAINAGE STRUCTURE DESIGN C G OR H	EACH	27	\$ 1,000.00	\$ 27,000.00
2506.602/00020	CONNECT INTO EXISTING STORM SEWER	EACH	2	\$ 500.00	\$ 1,000.00
Spec Prov	REAR YARD GRADING	LS	3	\$ 10,000.00	\$ 30,000.00
Section IV - Storm Sewer Sub Total				\$ 275,775.00	

Construction Grand Total

\$ 1,790,000.00

Construction Contingencies

10.00% \$ 179,000.00

Subtotal

Engineering and Admin Fee

16.55% \$ 325,870.00

Project Total**\$ 2,294,870.00**
Future Final Wearing Course

Spec No.	Item	Unit	Quantity	Unit Price	Total
2021.501	Mobilization	Ls	1	\$ 5,669.00	\$ 5,669.00
2231.604	Bituminous Patch (12")	Sy	316	\$ 75.00	\$ 23,700.00
2232.501	Mill Bituminous Pavement	Sy	593	\$ 8.00	\$ 4,744.00
2357.502	Bituminous Material for Tack Coat	Gal	553	\$ 4.00	\$ 2,212.00
2360.501	Wearing Course Mixture Type SPWEB340B	Ton	1,849	\$ 75.00	\$ 138,675.00
2504.602	Adjust Gate Valve Box	Ea	12	\$ 250.00	\$ 3,000.00
2506.522	Adjust Frame and Ring Casting	Ea	20	\$ 500.00	\$ 10,000.00
2563.601	Traffic Control	Ls	1	\$ 2,000.00	\$ 2,000.00
Future Final Wearing Course				\$ 190,000.00	
Construction Contingencies				10.00%	\$ 19,000.00
Subtotal				\$ 209,000.00	
Engineering and Admin Fee				16.55%	\$ 34,600.00
Project total				\$ 243,600.00	

Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments	Lots	Incoming	Future	Total	Per Lot Assessment
Future Proposed Assessments (Final Wearing Course)	103.5	\$ 13,630	\$ 243,600	\$ 257,230	\$ 2,485.31
Future Proposed Assessments (JF 3rd Incoming & Future)	103.5	\$ 115,380	\$ 2,294,870	\$ 2,410,250	\$ 23,287.44
Original Recorded Specials		#####		\$ 990,477	\$ 9,569.82
Pending Specials	103.5	\$ -	\$ -	\$ -	\$ -
Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments	103.5			\$ 3,657,956.63	\$ 35,342.58

Exhibit #5: Summary of Proposed Assessments

Total Cumulative Special Assessments to lots on west side of 18th St S	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots (Each)	Per Lot Assessment (\$/Lot)
Future Final Wearing Course	\$ -	\$ 27,240.00	\$ 27,240.00	848.26	\$ 32.11	12	\$ 2,270.00
Johnson Farms 3rd Street Construction (#14-A2-05)	\$ -	\$ 200,280.00	\$ 200,280.00	848.26	\$ 236.11	12	\$ 16,690.00
Existing Recorded Specials	\$ 104,543.40	\$ -	\$ 104,543.40	848.26	\$ 123.24	12	\$ 8,711.95
Pending Specials (Johnson Farms 3rd Underground Utilities)	\$ 94,397.81	\$ -	\$ 94,397.81	848.26	\$ 111.28	12	\$ 7,866.48
Total Cumulative Special Assessments to lots on west side of 18th St S			\$ 426,461.21	848.26	\$ 502.75	12	\$ 35,538.43
Total Cumulative Assessments on Johnson Farms 3rd apartment lot			Total	Front Footage (LF)	Assessment Rate (\$/LF)	Area	Per SF Assessment
Future Final Wearing Course			\$ 54,500.00	1,814.35	\$ 30.04	393,791	\$ 0.14
Johnson Farms 3rd Street Construction (#14-A2-05)			\$ 381,250.00	1,814.35	\$ 210.13	393,791	\$ 0.97
Existing Recorded Specials			\$ 340,619.44	1,814.35	\$ 187.74	393,791	\$ 0.86
Pending Specials (Johnson Farms 3rd Underground Utilities)			\$ 87,234.38	1,814.35	\$ 48.08	393,791	\$ 0.22
Total Cumulative Assessments on Johnson Farms 3rd apartment lot			\$ 863,603.82	1,814.35	\$ 475.99		\$ 2.19
Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots	Per Lot Assessment
Future Final Wearing Course	\$ 13,630	\$ 51,300	\$ 64,930.00	1,765.81	\$ 36.77	26	\$ 2,497.31
Future Proposed Assessments to lots on 17th St S	\$ 97,950	\$ 487,180	\$ 585,130.00	1,765.81	\$ 331.37	26	\$ 22,505.00
Existing Recorded Specials	\$ 222,300		\$ 222,299.57	1,765.81	\$ 125.89	26	\$ 8,549.98
Pending Specials (Johnson Farms 3rd Underground Utilities)	\$ 18,821		\$ 18,821.00	1,765.81	\$ 10.66	26	\$ 723.88
Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S			\$ 891,180.57	1,765.81	\$ 504.69	26	\$ 34,276.18
Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots	Per Lot Assessment
Future Final Wearing Course	\$ 13,630	\$ 243,600	\$ 257,230	7,288.95	\$ 35.29	103.5	\$ 2,485.31
Future Proposed Assessments	\$ 115,380	\$ 2,294,870	\$ 2,410,250	7,288.95	\$ 330.67	103.5	\$ 23,287.44
Existing Recorded Specials	\$ 990,477		\$ 990,477	7,288.95	\$ 135.89	103.5	\$ 9,569.82
Pending Specials	\$ -	\$ -	\$ -	7,288.95	\$ -	103.5	\$ -
Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments			\$ 3,657,956.63	7,288.95	\$ 501.85	103.5	\$ 35,342.58

Exhibit #5: Preliminary Assessment Roll Based on Original Project Costs

Lot	Block	Front Footage	PARCEL	580850	580853	580916	580939	S&W, CGP	580994	581063	5810602	58120603	TOTAL ORIGINAL & PENDING ASSESSMENTS FOR PARCEL	FUTURE PROPOSED SPECIAL ASSESSMENTS	TOTAL CUMULATIVE ASSESSMENTS	TOTAL CUMULATIVE ASSESSMENTS PER FRONT FOOT	
				East side (34th St S Int)	S & W Ave S Elem Sch	40th Ave S - Street, S & W	Southfields Ph 1	Johnson Farms (Also 05-23)	580999	Lift Station 18 Sewer Mains - Phase B	58110701	Sidewalks	Ext SS along 36th Ave S from 16 to 18th St.	SS & Storm Sewer-Johnson Dr.	25,002.31	35,136.89	\$ 361.79
32	6	97.12	58.357.1540	\$ 1,606.12	\$ 652.31	\$ 1,816.93	\$ 182.60	\$ 1,921.61	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 10,134.58	\$ 25,002.31	\$ 35,136.89	\$ 361.79
33	6	76.73	58.357.1550	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,622.69	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,805.32	\$ 25,002.31	\$ 34,807.63	\$ 453.64
34	6	73.00	58.357.1560	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
35	6	73.00	58.357.1570	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
36	6	73.00	58.357.1580	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
37	6	73.00	58.357.1590	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
38	6	73.00	58.357.1600	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
39	6	73.00	58.357.1610	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 1,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,741.27	\$ 25,002.31	\$ 34,743.58	\$ 475.94
40	6	73.00	58.357.1620	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 3,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,390.27	\$ 37,503.46	\$ 49,893.73	\$ 683.48
41	6	73.00	58.357.1630	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 3,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,390.27	\$ 37,503.46	\$ 49,893.73	\$ 683.48
42	6	73.00	58.357.1640	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 3,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,390.27	\$ 37,503.46	\$ 49,893.73	\$ 683.48
43	6	72.00	58.357.1650	\$ 1,606.12	\$ 621.97	\$ 1,816.93	\$ 182.60	\$ 3,558.64	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,390.27	\$ 37,503.46	\$ 49,893.73	\$ 692.97
1	7	99.89	58.357.1660	\$ 1,606.12	\$ 644.73	\$ 1,816.93	\$ 182.60	\$ 3,921.61	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,776.00	\$ 37,503.46	\$ 50,279.46	\$ 503.35
2	7	72.07	58.357.1670	\$ 1,606.12	\$ 682.65	\$ 1,816.93	\$ 182.60	\$ 3,537.28	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 12,429.59	\$ 37,503.46	\$ 49,933.05	\$ 692.84
3	7	72.07	58.357.1680	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,357.28	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,674.40	\$ 25,002.31	\$ 34,676.71	\$ 481.15
4	7	77.08	58.357.1690	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 451.26
5	7	77.08	58.357.1700	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 451.26
6	7	77.08	58.357.1710	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 451.26
7	7	77.08	58.357.1720	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 451.26
8	7	77.08	58.357.1730	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 451.26
9	7	77.16	58.357.1740	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 450.80
10	7	77.16	58.357.1750	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,781.16	\$ 25,002.31	\$ 34,783.47	\$ 450.80
11	7	79.21	58.357.1760	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,686.74	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 649.00	\$ 9,823.86	\$ 25,002.31	\$ 34,826.17	\$ 439.67
				\$ 3,940.76	\$ 14,009.50	\$ 41,789.39	\$ 4,199.80	\$ 49,321.89	\$ 17,120.97	\$ 31,111.87	\$ 8,501.49	\$ 19,303.90	\$ 18,821.00	\$ 241,120.57	\$ 650,060.00		
12	7	87.67	58.357.1770	\$ 1,606.12	\$ 576.46	\$ 1,816.93	\$ 182.60	\$ 1,878.90	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 7,261.37	\$ 16,628.39	\$ 18,960.00	\$ 35,588.39	\$ 405.94
13	7	77.08	58.357.1780	\$ 1,606.12	\$ 553.71	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 7,261.37	\$ 16,370.78	\$ 18,960.00	\$ 35,330.78	\$ 458.37
14	7	77.08	58.357.1790	\$ 1,606.12	\$ 682.65	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 7,261.37	\$ 16,499.72	\$ 18,960.00	\$ 35,459.72	\$ 460.04
15	7	77.00	58.357.1800	\$ 1,606.12	\$ 546.12	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 7,261.37	\$ 16,363.19	\$ 18,960.00	\$ 35,323.19	\$ 458.74
16	7	77.00	58.357.1810	\$ 1,606.12	\$ 546.12	\$ 1,816.93	\$ 182.60	\$ 1,644.04	\$ 744.39	\$ 1,352.69	\$ 369.63	\$ 839.30	\$ 7,261.37	\$ 16,363.19	\$ 18,960.00	\$ 35,323.19	\$ 45

Exhibit #5: Summary of Proposed Assessments

Total Cumulative Special Assessments to lots on west side of 18th St S	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots (Each)	Per Lot Assessment (\$/Lot)
Future Final Wearing Course	\$ -	\$ 27,240.00	\$ 27,240.00	848.26	\$ 32.11	12	\$ 2,270.00
Johnson Farms 3rd Street Construction (#14-A2-05)	\$ -	\$ 200,280.00	\$ 200,280.00	848.26	\$ 236.11	12	\$ 16,690.00
Existing Recorded Specials	\$ 75,010.48	\$ -	\$ 75,010.48	848.26	\$ 88.43	12	\$ 6,250.87
Pending Specials (Johnson Farms 3rd Underground Utilities)	\$ 94,397.81	\$ -	\$ 94,397.81	848.26	\$ 111.28	12	\$ 7,866.48
Total Cumulative Special Assessments to lots on west side of 18th St S			\$ 396,928.29	848.26	\$ 467.93	12	\$ 33,077.36
Total Cumulative Assessments on Johnson Farms 3rd apartment lot			Total	Front Footage (LF)	Assessment Rate (\$/LF)	Area	Per SF Assessment
Future Final Wearing Course			\$ 54,500.00	1,814.35	\$ 30.04	393,791	\$ 0.14
Johnson Farms 3rd Street Construction (#14-A2-05)			\$ 381,250.00	1,814.35	\$ 210.13	393,791	\$ 0.97
Existing Recorded Specials			\$ 340,619.44	1,814.35	\$ 187.74	393,791	\$ 0.86
Pending Specials (Johnson Farms 3rd Underground Utilities)			\$ 87,234.38	1,814.35	\$ 48.08	393,791	\$ 0.22
Total Cumulative Assessments on Johnson Farms 3rd apartment lot			\$ 863,603.82	1,814.35	\$ 475.99		\$ 2.19
Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots	Per Lot Assessment
Future Final Wearing Course	\$ 13,630	\$ 51,300	\$ 64,930.00	1,765.81	\$ 36.77	26	\$ 2,497.31
Future Proposed Assessments to lots on 17th St S	\$ 97,950	\$ 487,180	\$ 585,130.00	1,765.81	\$ 331.37	26	\$ 22,505.00
Existing Recorded Specials	\$ 167,961.75		\$ 167,961.75	1,765.81	\$ 95.12	26	\$ 6,460.07
Pending Specials (Johnson Farms 3rd Underground Utilities)	\$ 18,821		\$ 18,821.00	1,765.81	\$ 10.66	26	\$ 723.88
Total Cumulative Special Assessments to lots on 17th St S north of 36th Ave S			\$ 836,842.75	1,765.81	\$ 473.91	26	\$ 32,186.26
Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments	Incoming	Future	Total	Front Footage (LF)	Assessment Rate (\$/LF)	Lots	Per Lot Assessment
Future Final Wearing Course	\$ 13,630	\$ 243,600	\$ 257,230	7,288.95	\$ 35.29	103.5	\$ 2,485.31
Future Proposed Assessments	\$ 115,380	\$ 2,294,870	\$ 2,410,250	7,288.95	\$ 330.67	103.5	\$ 23,287.44
Existing Recorded Specials	\$ 770,567.62		\$ 770,568	7,288.95	\$ 105.72	103.5	\$ 7,445.10
Pending Specials	\$ -	\$ -	\$ -	7,288.95	\$ -	103.5	\$ -
Total Cumulative Johnson Dr, 17th, 18th & 19th St Assessments			\$ 3,438,047.62	7,288.95	\$ 471.68	103.5	\$ 33,217.85

Exhibit #5: Preliminary Assessment Roll Based on Remaining Assessment Balance

Lot	Block	Front Footage	PARCEL	580850 East side (34th St S Int)	580853 S & W 40 Ave S Elem Sch	580916 40th Ave S - Street, S & W	580939 Southfields Ph 1	580994 S&W, CGP (Also 05-A2-23)	580999 Johnson Farms Lift Station 18 Phase B	581063 Lift Station 18 Sewer Mains - Phase B	58110701 Sidewalks	58120602 SS & Storm Sewer-Johnson Dr.	58120603 Ext SS along 36th Ave S from 16 to 18th St.	TOTAL REMAINING & PENDING ASSESSMENTS FOR PARCEL	FUTURE PROPOSED SPECIAL ASSESSMENTS	TOTAL CUMULATIVE CURRENT & PROPOSED ASSESSMENTS	TOTAL CUMULATIVE ASSESSMENTS PER FRONT FOOT
32	6	97.12	58.357.1540	\$ 1,124.26	\$ 423.97	\$ 1,362.68	\$ 136.95	\$ 1,345.13	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,823.75	\$ 25,002.31	\$ 32,826.06	\$ 337.99
33	6	76.73	58.357.1550	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,135.91	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,594.83	\$ 25,002.31	\$ 32,597.14	\$ 424.83
34	6	73.00	58.357.1560	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
35	6	73.00	58.357.1570	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
36	6	73.00	58.357.1580	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
37	6	73.00	58.357.1590	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
38	6	73.00	58.357.1600	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
39	6	73.00	58.357.1610	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 1,091.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,549.98	\$ 25,002.31	\$ 32,552.29	\$ 445.92
40	6	73.00	58.357.1620	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 2,491.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,598.98	\$ 37,503.46	\$ 47,102.44	\$ 645.24
41	6	73.00	58.357.1630	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 2,491.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,598.98	\$ 37,503.46	\$ 47,102.44	\$ 645.24
42	6	73.00	58.357.1640	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 2,491.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,598.98	\$ 37,503.46	\$ 47,102.44	\$ 645.24
43	6	72.00	58.357.1650	\$ 1,124.26	\$ 404.27	\$ 1,362.68	\$ 136.95	\$ 2,491.06	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,598.98	\$ 37,503.46	\$ 47,102.44	\$ 654.20
1	7	99.89	58.357.1660	\$ 1,124.26	\$ 419.05	\$ 1,362.68	\$ 136.95	\$ 2,745.13	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,867.83	\$ 37,503.46	\$ 47,137.29	\$ 474.23
2	7	72.07	58.357.1670	\$ 1,124.26	\$ 443.74	\$ 1,362.68	\$ 136.95	\$ 2,476.12	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 1,298.00	\$ 9,623.51	\$ 37,503.46	\$ 47,126.97	\$ 653.91
3	7	72.07	58.357.1680	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,076.12	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,505.49	\$ 25,002.31	\$ 32,507.80	\$ 451.06
4	7	77.08	58.357.1690	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
5	7	77.08	58.357.1700	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
6	7	77.08	58.357.1710	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
7	7	77.08	58.357.1720	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
8	7	77.08	58.357.1730	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
9	7	77.16	58.357.1740	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
10	7	77.16	58.357.1750	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,580.21	\$ 25,002.31	\$ 32,582.52	\$ 422.71
11	7	79.21	58.357.1760	\$ 1,124.26	\$ 374.72	\$ 1,362.68	\$ 136.95	\$ 1,180.70	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ 649.00	\$ 7,610.07	\$ 25,002.31	\$ 32,612.38	\$ 411.72
				\$ 11,644.07	\$ 3,902.19	\$ 14,171.83	\$ 1,424.28	\$ 14,545.04	\$ 5,806.21	\$ 10,551.27	\$ 3,733.29	\$ 9,232.30	\$ 169,408.29	\$ 227,520.00			
1	10	75.43	58.357.2240	\$ 1,124.26	\$ 369.80	\$ 1,362.68	\$ 136.95	\$ 1,150.84	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ -	\$ 6,926.29	\$ 25,772.75	\$ 32,699.04	\$ 433.50
2	10	66.93	58.357.2250	\$ 1,124.26	\$ 394.42	\$ 1,362.68	\$ 136.95	\$ 1,001.35	\$ 558.29	\$ 1,014.54	\$ 369.63	\$ 839.30	\$ -	\$ 6,801.42	\$ 25,772.75	\$ 32,574.17	\$ 486.69
3	10	66.93	58.357.2260	\$ 1,124.26	\$ 354.95	\$ 1,362.68	\$ 136.95	\$ 1,001.35	\$ 558.29	\$ 1,014.54							